

#### **REQUEST FOR BIDS**

## TADS PARKING LOT EXPANSION PROJECT RFB 24BCP05C

May 20, 2024

#### **ADDENDUM #2**

Notice to Respondents:

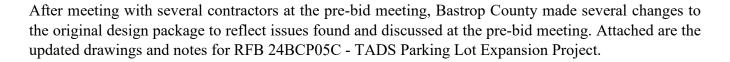
This addendum will be considered a part of Bastrop County's Request for Bids for TADS Parking Lot Expansion Project. Where provisions of this addendum differ from those of the original Request for Bids, this addendum will govern.

ACKNOWLEDGED

Printed Name of Respondent	Authorized Signature	 Date

RETURN ONE COPY SIGNED COPY OF THIS ADDENDUM TO THE PURCHASING OFFICE WITH YOUR SEALED BID. FAILURE TO DO SO, MAY AUTOMATICALLY DISQUALIFY YOUR RESPONSE FROM CONSIDERATION FOR AWARD.

#### **ITEMS FOR ADDENDUM #2:**



The original due date for sealed bid submissions was May 21, 2024. To account for the updated design package the new due date for sealed bids is June 5, 2024

BASTROP COUNTY 804 PECAN STREET BASTROP, TX 78602 (512) 581-4071

CONTACT: LEON SCAIFE

BOWMAN CONSULTING GROUP, LTD. 807 LAS CIMAS PKWY, LAS CIMAS II, SUITE 350 AUSTIN, TEXAS 78746

CONTACT: MARISA KEISER, PE

SURVEYOR:
BOWMAN CONSULTING GROUP, LTD. 807 LAS CIMAS PKWY, LAS CIMAS II, SUITE 350 AUSTIN, TEXAS 78746 512-327-1180

CONTACT: DALE L. OLSON

# TADS PARKING LOT EXPANSION

211 JACKSON ST, BASTROP, TEXAS 78602

#### PROJECT ADDRESS

211 JACKSON ST, BASTROP, TEXAS 78602

#### PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT INCLUDES DESIGN SERVICES FOR A PARKING LOT SCOPE OF WORK: EARTHWORK, DRAINAGE, AND MINIMAL RE-GRADING.

#### LEGAL DESCRIPTION:

BUILDING BLOCKS 100 (EMS), 101 (EMS) & MILL ST., LOT 1, ACRES 4.605, (BASTROP COUNTY COMPLEX PD)

#### DEED RECORD:

VOLUME 475, PAGE 597, BASTROP COUNTY DEED RECORDS

#### FLOOD NOTE:

THE SUBJECT TRACT IS NOT LOCATED WITHIN THE FEMA FLOODPLAIN AS SHOWN ON THE TRAVIS COUNTY FIRM MAP

#### THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP.

#### ZONING CLASSIFICATION:

BASTROP COUNTY PLANNED DEVELOPMENT



MAPSCO PAGE: 527S

LOCATION MAP NTS

LOCATED IN GRID: N28

NUMBER	APPROVED  DESCRIPTION	REVISE (F	NET CHANG TION (C) IMPERVIOUS COVER (SQ.	E TOTAL	DESIGN ENGINEER SIGNATURE	CITY OF PFLUGERVILLE APPROVAL	APPROVAL DATE



Sheet List Table					
Sheet Number	ımber Sheet Title				
1	COVER				
2	GENERAL NOTES				
3	EXISTING CONDITIONS & DEMOLITION PLAN				
4	<b>EROSION &amp; SEDIMENTATION CONTROL PLAN</b>				
5	CONCEPT PLAN				
6	PAVING PLAN				
7	GRADING PLAN				
8	DETAILS				

Owner's Signature Block:					
As owner of this property, I promise to develop and maintain this property as described by this plan.					
Name of Owner/Trustee	Date				
City Approval Signature Block:					
All responsibility for the adequacy of these plans remains with the engineer who prepared them. In accepting these plans, the City of Bastrop must rely upon the adequacy of the work of the design engineer.					
Accepted for Construction:					
Director of Planning and Development	Date				

Signed and sealed certification of the licensed engineer who prepared the Site Development Plan:

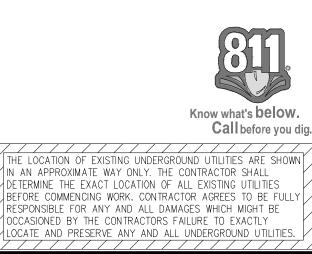
I, MARISA KEISER	do hereby certify that the information
contained in these engineering	documents are complete, accurate, an
adequate for the intended purp	oses, including construction, but are no
authorized for construction prior t	o formal City approval.

Marisa Keiser May 20, 2024

City of Bastrop Engineer

City of Bastrop Fire Department

Signature and Seal of Registered Engineer with date



- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CONSTRUCTION TECHNICAL MANUAL. 2. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT
- ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE. 3. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION
- OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS AS APPROPRIATE. 4. MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE AFTER TO FINAL PAVING
- CONSTRUCTION. A CONCRETE SQUARE SHALL BE POURED AROUND ALL APPURTENANCES. 5. THE CONTRACTOR SHALL GIVE THE CITY OF BASTROP 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. NOTICE SHALL BE GIVEN TO THE PLANNING AND DEVELOPMENT DEPARTMENT: 512-332-8840.
- 6. ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL FOLLOW THE REQUIRED BEST MANAGEMENT PRACTICES. A) EACH SITE SHALL PROVIDE AN ACCESS DRIVE AND PARKING AREA OF SUFFICIENT DIMENSIONS AND DESIGN. SURFACED WITH A MATERIAL THAT WILL PREVENT EROSION AND MINIMIZE TRACKING OR WASHING OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ALL NON-PAVED ACCESS DRIVES SHALL BE DESIGNED SO THAT STORMWATER RUNOFF FROM ADJACENT AREAS DOES NOT FLOW
- DOWN THE DRIVE SURFACE. B) ANY SIGNIFICANT AMOUNT OF RUNOFF FROM UP SLOPE LAND AREA, ROOFTOPS, OR OTHER SURFACES THAT DRAIN ACROSS THE PROPOSED LAND DISTURBANCE SHALL BE DIVERTED AROUND THE DISTURBED AREA, IF PRACTICAL, ANY DIVERSION OF UP SLOPE RUNOFF SHALL BE DONE IN A MANNER THAT PREVENTS EROSION OF THE FLOW PATH AND THE OUTLET. C) ANY CUTS AND FILLS SHALL BE PLANNED AND CONSTRUCTED TO MINIMIZE THE LENGTH AND STEEPNESS OF SLOPE AND STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN TIMELINES AND STANDARDS OF THIS DOCUMENT. D) OPEN CHANNELS SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION.
- E) INLETS TO STORM DRAINS, CULVERTS, AND OTHER STORMWATER CONVEYANCE SYSTEMS SHALL BE PROTECTED FROM SILTATION UNTIL FINAL
- SITE STABILIZATION. F) WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR
- RECEIVING CHANNELS. G) ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RÚNOFF INTO A
- RECEIVING CHANNEL OR STORM SEWER SYSTEM. H) ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY, ALL OTHER OFF—SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY, FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE
- CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN, OR EQUIVALENT. ) ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE. J.) SOIL STOCKPILES SHALL BE LOCATED NO CLOSER THAN 25-FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE
- WAYS, OR ROADWAY DRAINAGE SYSTEMS. STOCKPILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS IF REMAINING FOR 20 DAYS OR LONGER. . PRIOR TO ANY CONSTRUCTION, THE APPLICANT'S ENGINEER SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN
- HIMSELF, THE CITY OF BASTROP, THE CONTRACTOR, UTILITY COMPANIES, A MUD REPRESENTATIVE, ANY AFFECTED PARTIES. ANDANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE, REFERENCE DEVELOPMENT PACKET FOR GUIDANCE ON HOW TO SCHEDULE A PRECONSTRUCTION CONFERENCE. 8. THE CONTRACTOR AND THE ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF BASTROP ACCURATE "AS-BUILT" DRAWINGS FOLLOWING COMPLETION OF
- ALL CONSTRUCTION. THESE "AS-BUILT" DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE. 9. THE BASTROP CITY COUNCIL SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT DOCUMENTS HAVE BEEN SIGNED AND RECORDED.
- 10. WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER.
- 11. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.

## <u>CITY OF BASTROP STREET AND DRAINAGE NOTES</u> <u>EFFECTIVE FEBRUARY 25, 2020</u>

- 1. ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY OF BASTROP CONSTRUCTION MANAGER AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING. CONTACT THE PLANNING AND DEVELOPMENT DEPARTMENT WITH NOTICE 512-332-8840.
- 2. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION. THE REMAINING 3 INCHES SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR 3. DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV, WATER
- SERVICES, ETC., SHALL BE A MINIMUM OF 36 INCHES BELOW SUBGRADE UNLESS APPROVED BY THE CITY ENGINEER. 4. STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4 INCH PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT OF-WAY AT 1/4 INCH PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF BASTROP PLANNING AND DEVELOPMENT DEPARTMENT.
- 5. BARRICADES BUILT TO CITY OF BASTROP STANDARDS SHALL BE CONSTRUCTED ON ALL DEAD END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
- 6. ALL RCP SHALL BE MINIMUM CLASS III UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
  7. THE SUBGRADE MATERIAL FOR THE STREETS SHOWN HEREIN WAS TESTED BY\_\_\_\_\_\_. THE PAVING SECTIONS WERE DESIGNED BY \_\_\_\_\_\_ IN ACCORDANCE WITH THE CURRENT CITY OF BASTROP DESIGN CRITERIA. THE PAVING SECTIONS ARE TO BE CONSTRUCTED AS FOLLOWS:



8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS. 9. WHERE PI'S ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER. THE GEOTECHNICAL ENGINEER SHALL RECOMMEND AN APPROPRIATE SUBGRADE STABILIZATION IF SULFATES ARE DETERMINED TO BE

## CITY OF BASTROP TRAFFIC MARKING NOTES EFFECTIVE FEBRUARY 25, 2020

- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR
- STREETS AND HIGHWAYS, LATEST EDITION. 2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF
- HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND
- 3. STOP BARS SHALL BE PLACED AT ALL STOP SIGN LOCATIONS. 4. "NO THROUGH TRUCK" SIGNS SHALL BE PLACED AT ALL SUBDIVISION ENTRANCES.

## CITY OF BASTROP EROSION AND SEDIMENTATION CONTROL NOTES EFFECTIVE FEBRUARY 25, 2020

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP
- CODE OF ORDINANCES. 2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO
- THE AREA AND SEASON IN WHICH THEY ARE APPLIED. 3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES, SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF BASTROP FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.



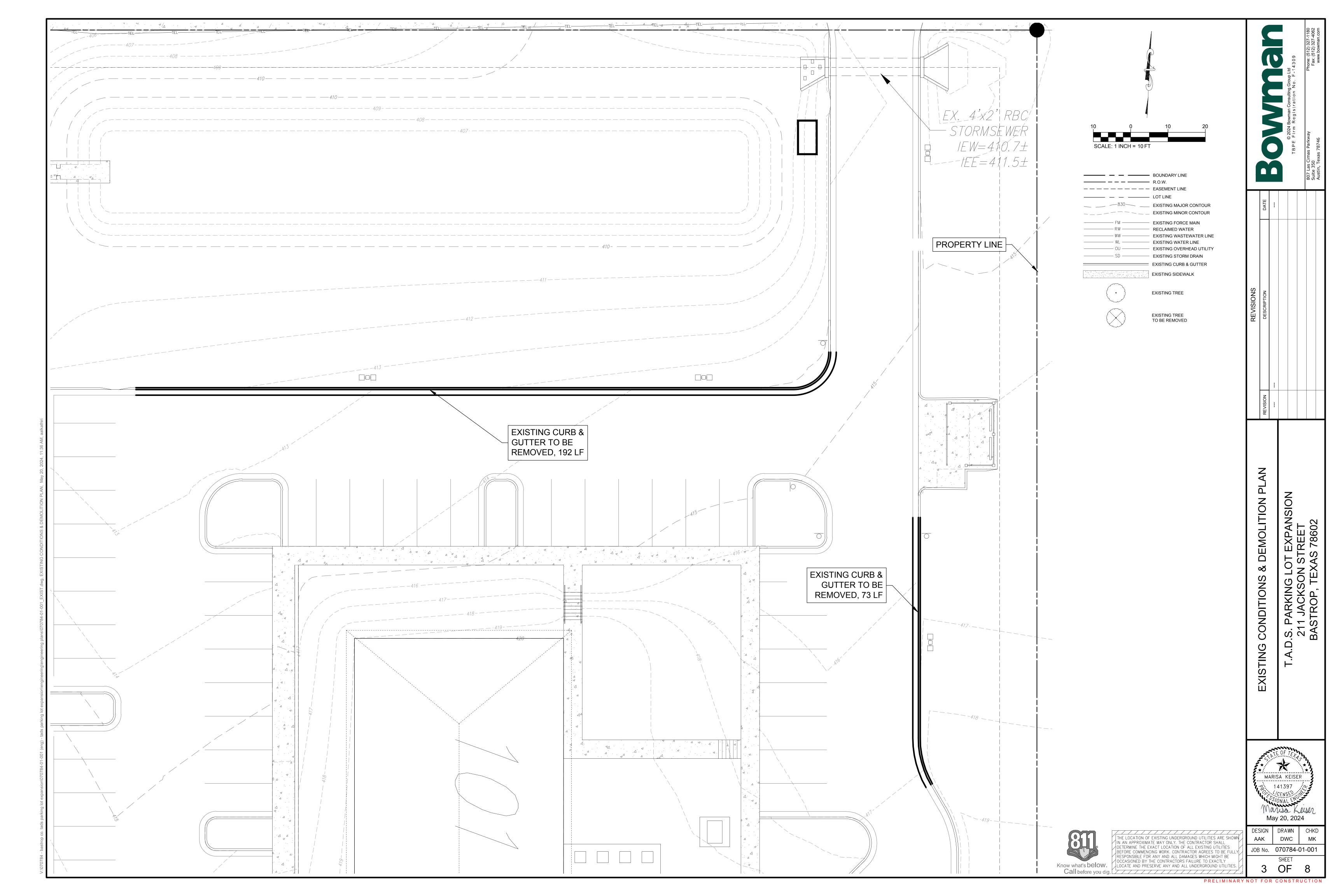
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FU RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY Know what's below. | LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. Call before you dig.

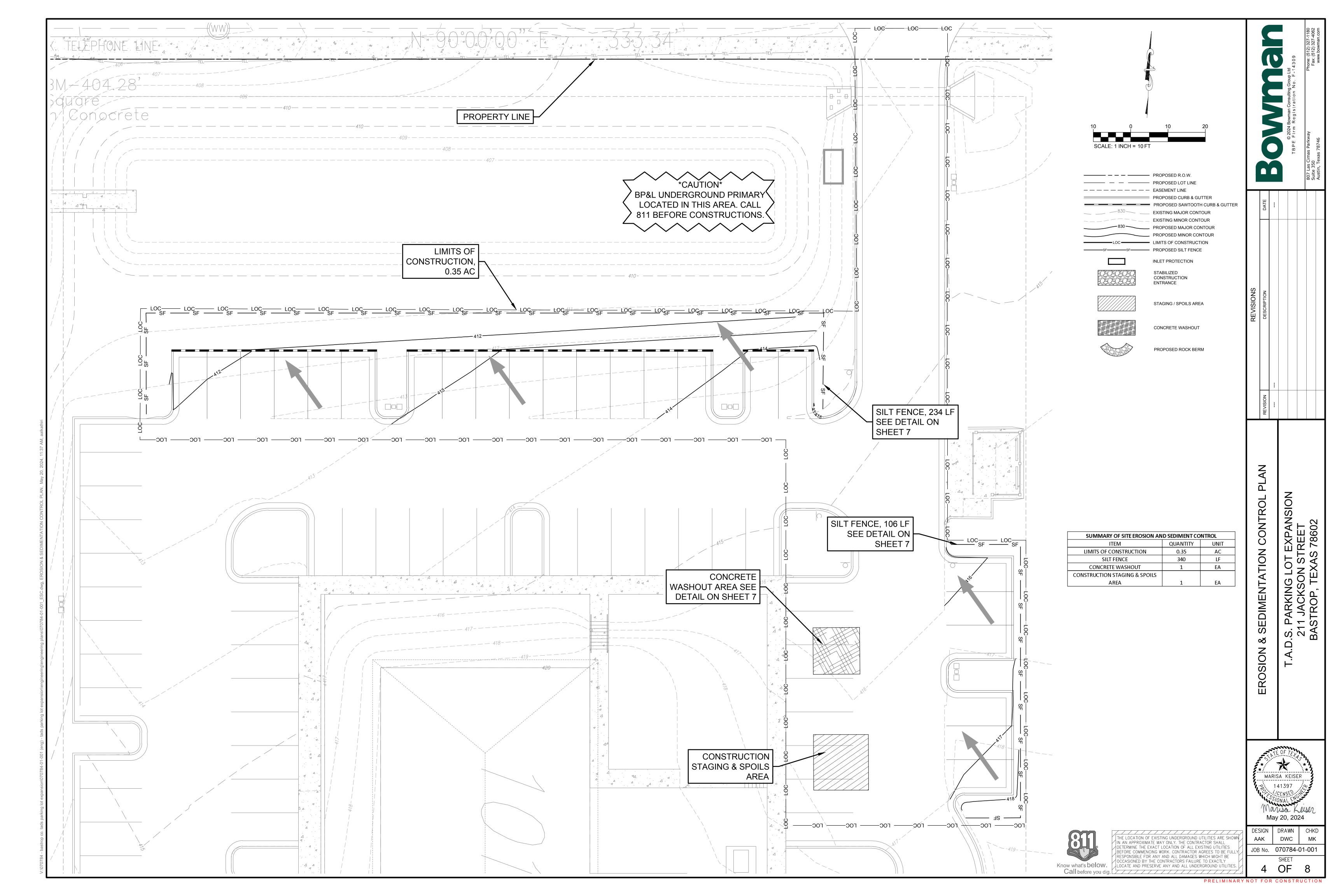
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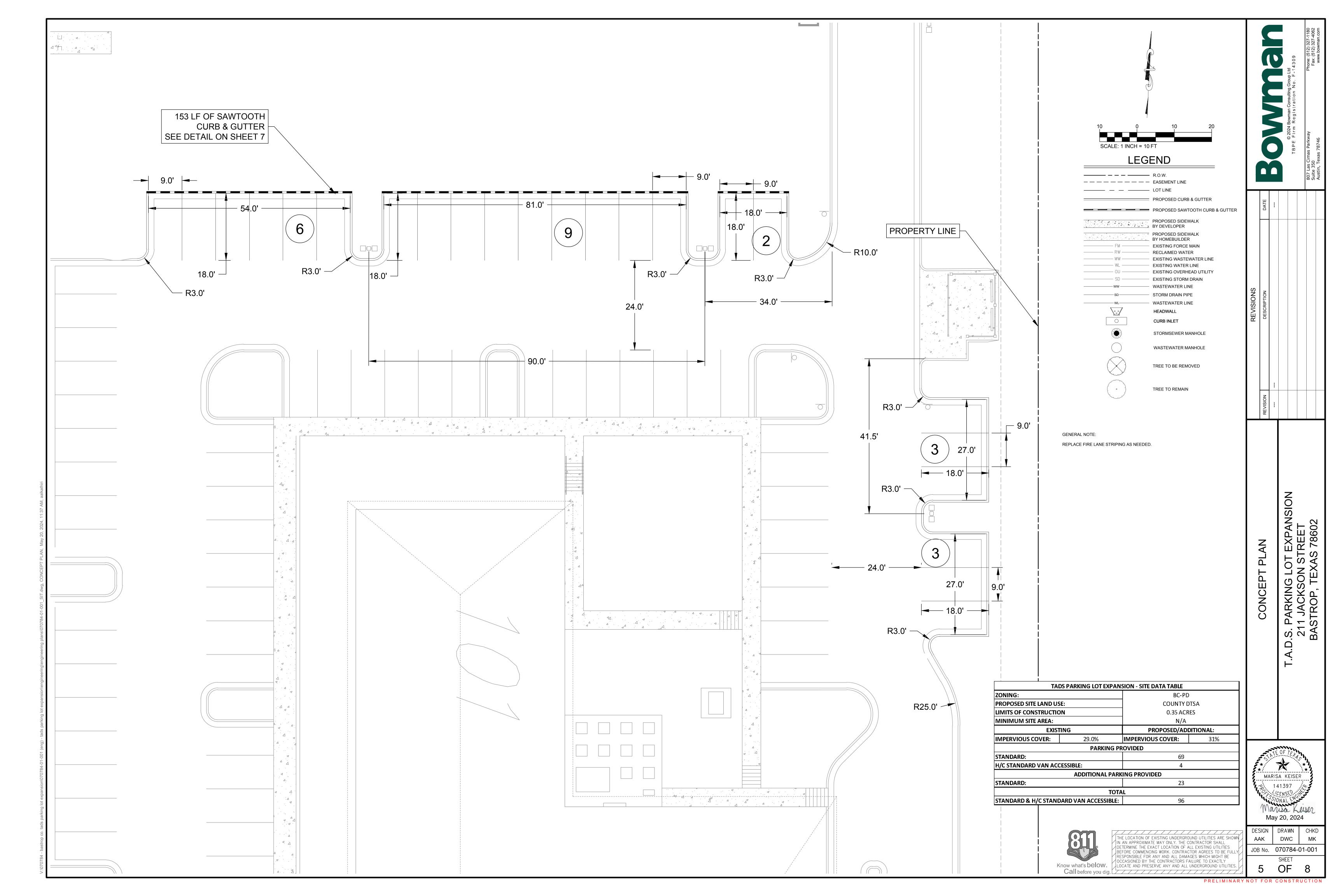
Vanisa Leiser

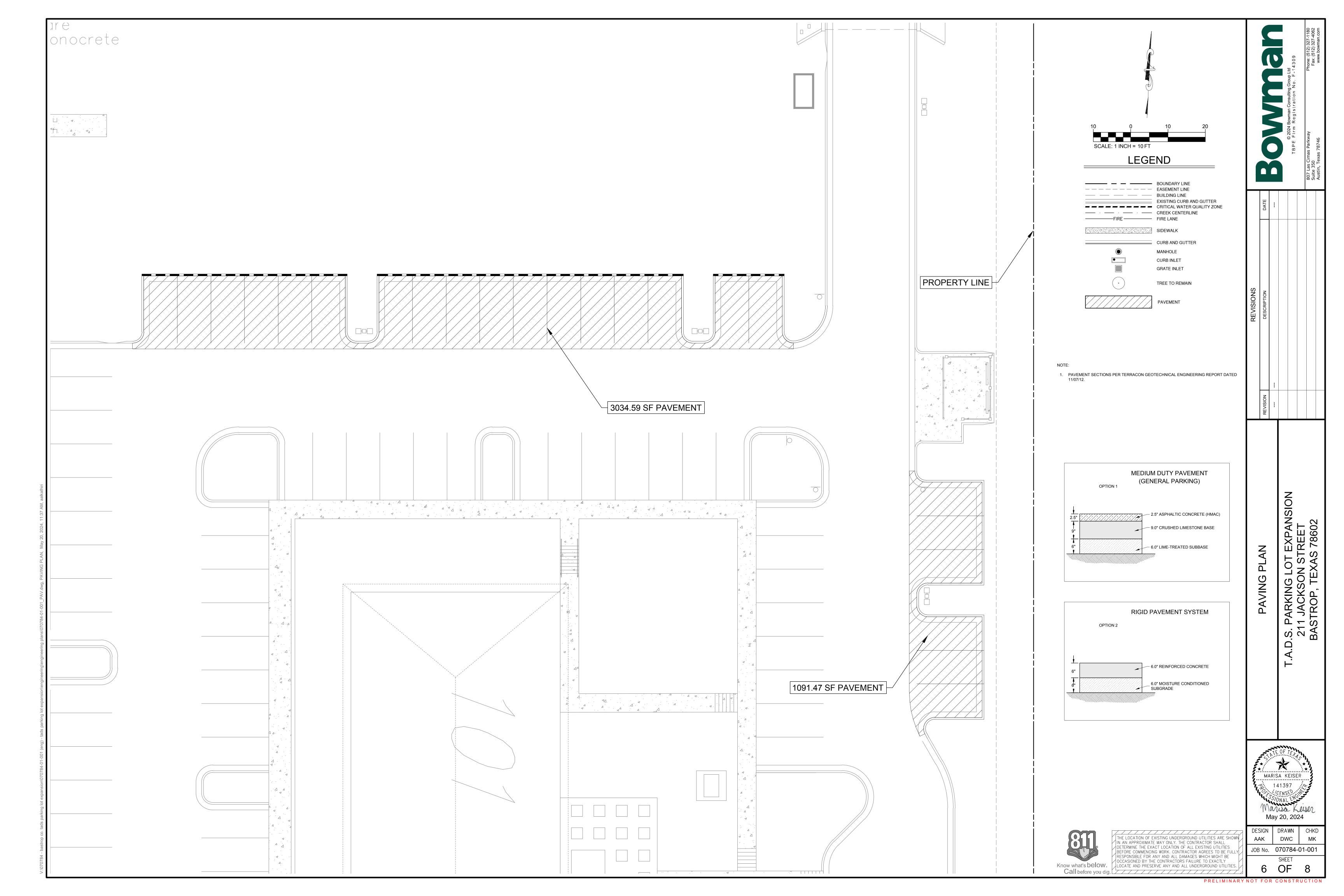
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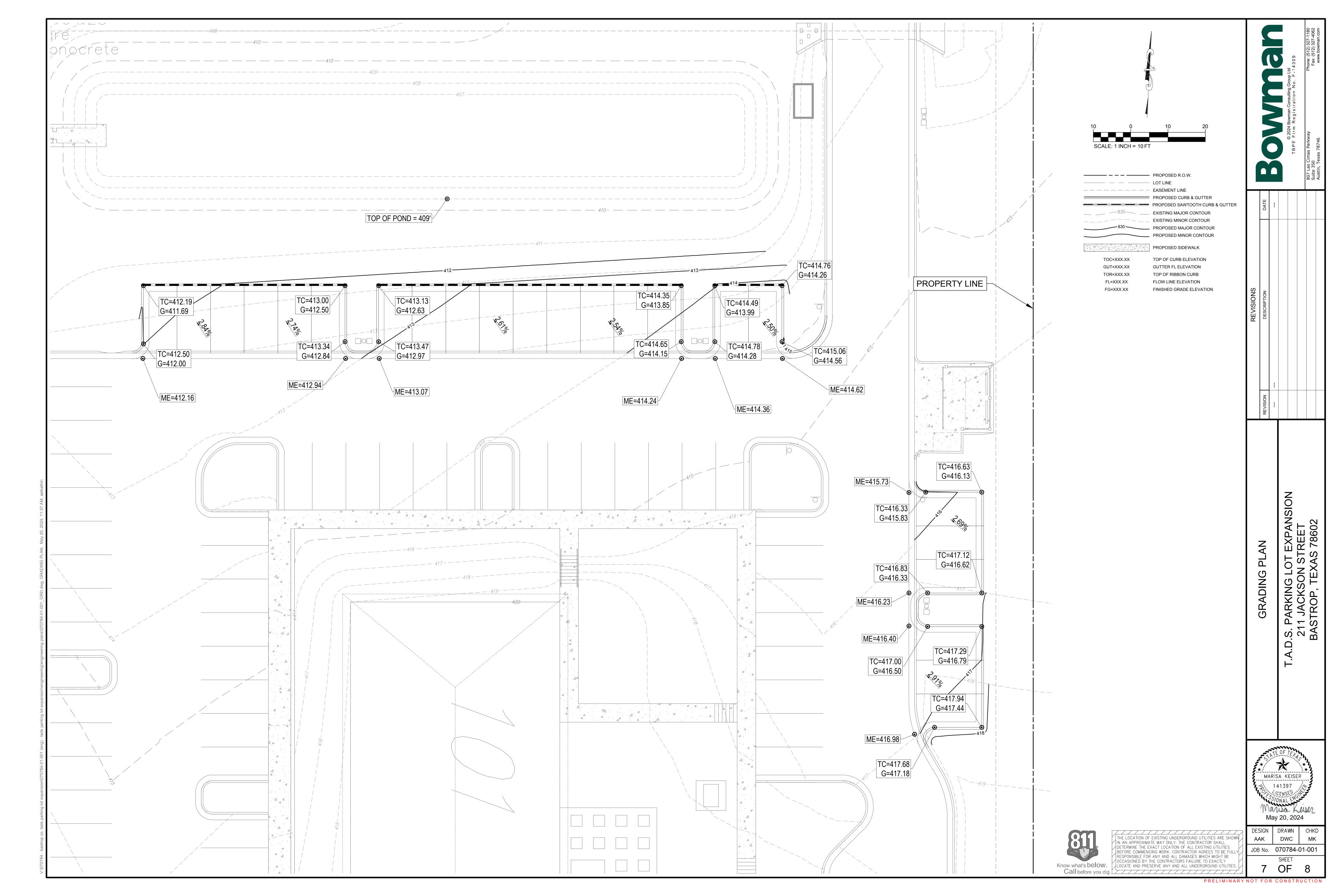
DESIGN DRAWN DWC AAK JOB No. 070784-01-001 SHEET

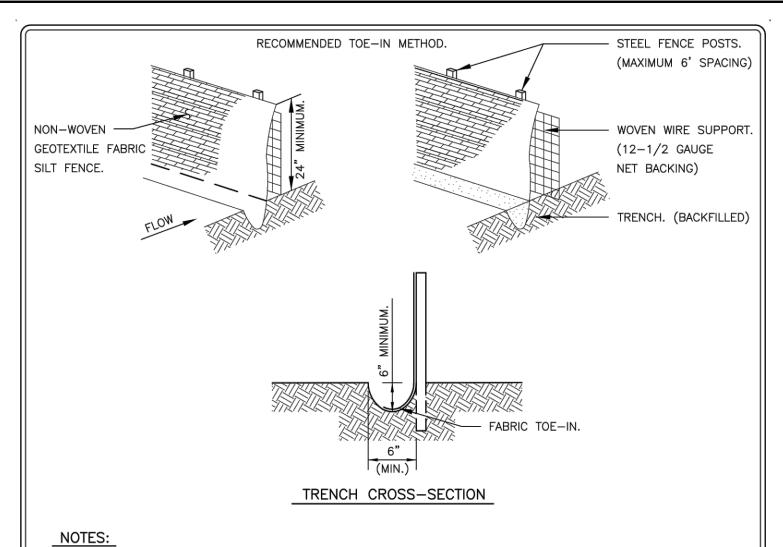








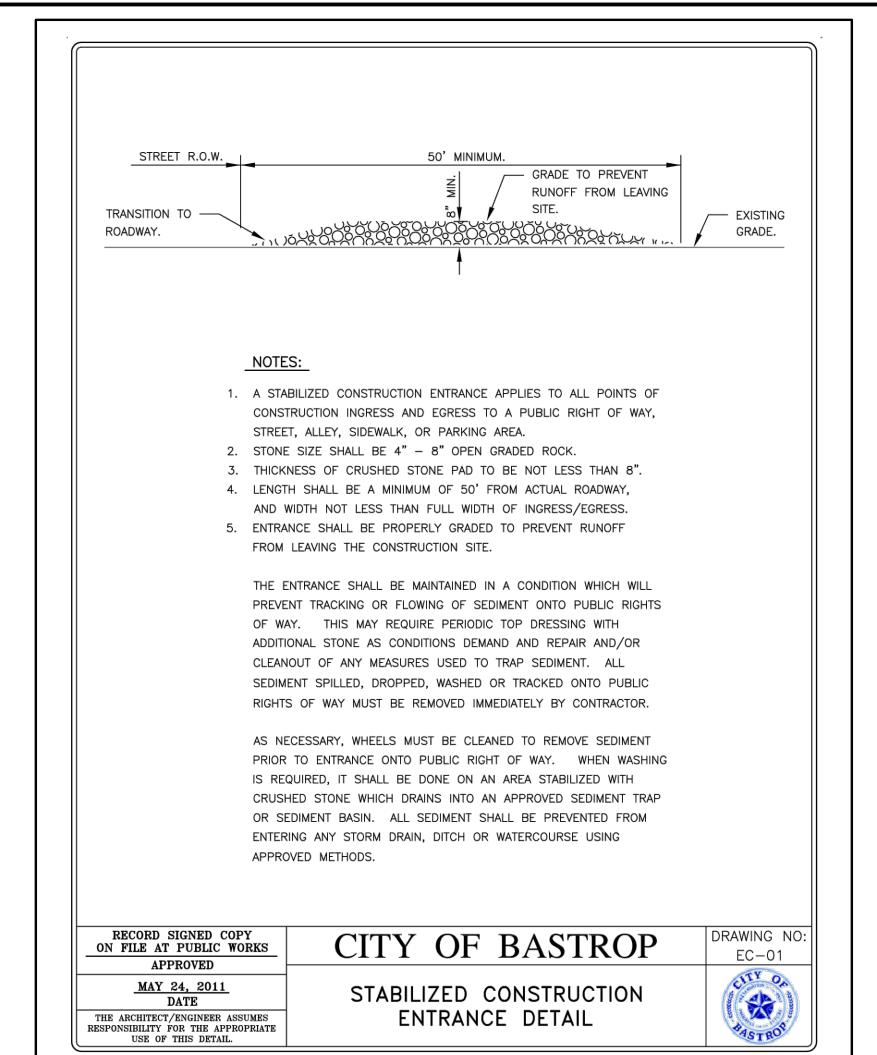


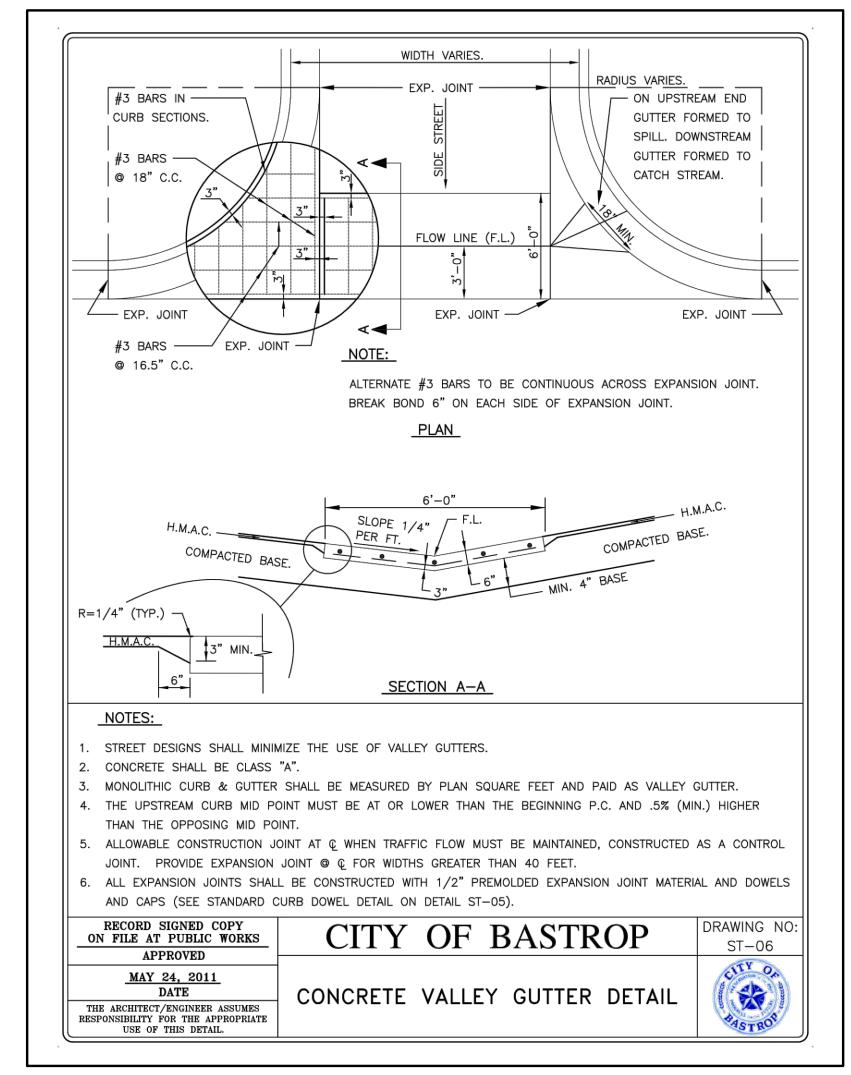


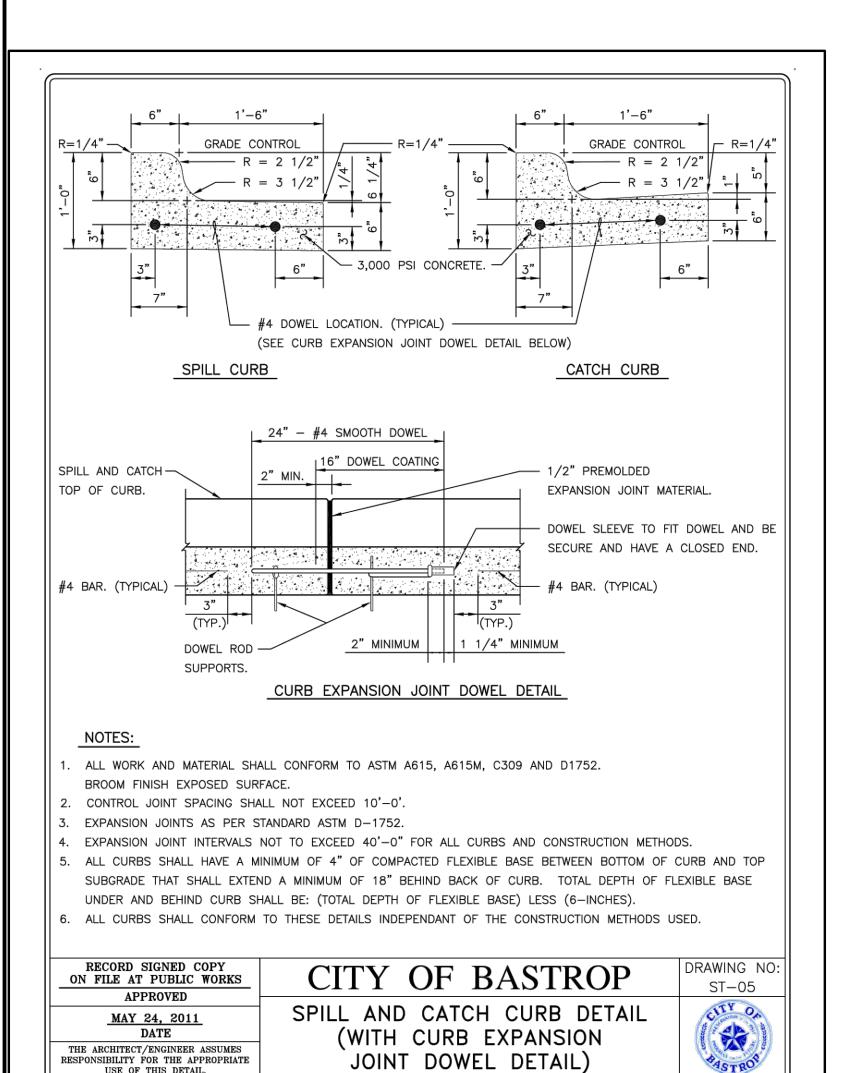
- . SILT FENCE SHALL CONFORM TO CITY OF BASTROP SPECIFICATION 642.
- 2. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MIN. OF ONE (1') FOOT.
- 3. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT) WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
- 4. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- 5. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS SECURELY FASTENED TO THE STEEL FENCE POSTS.
- 6. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 7. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- 8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE

DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

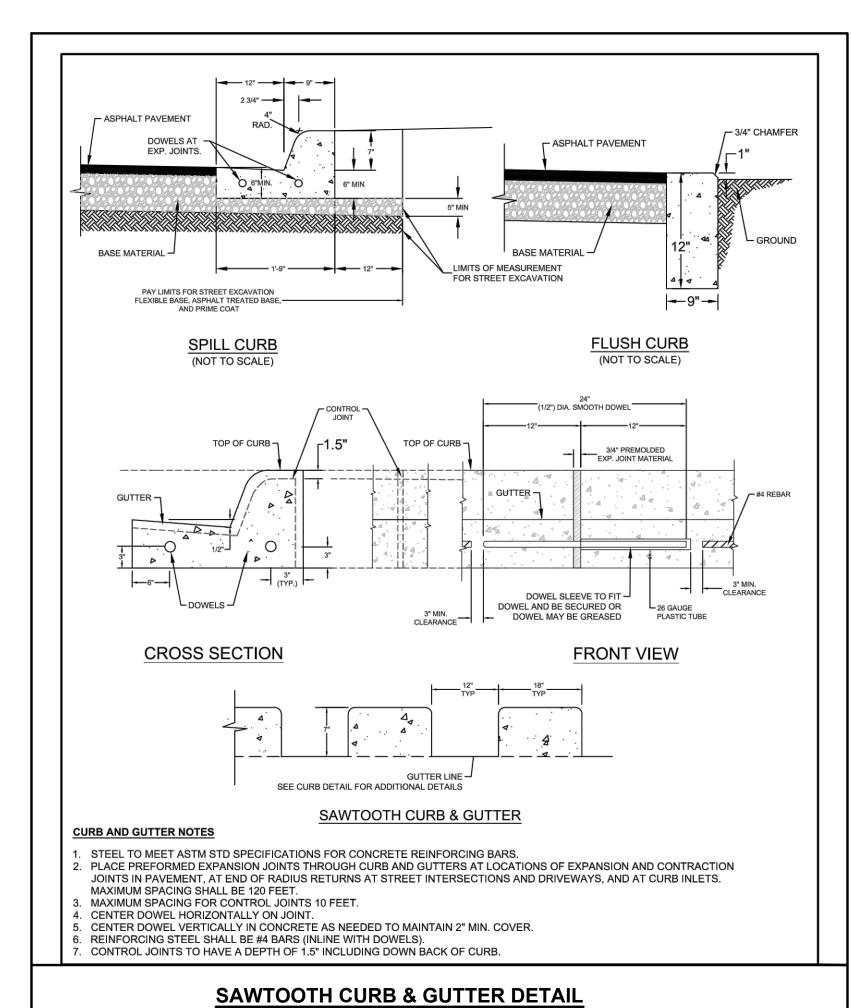
RECORD SIGNED COPY N FILE AT PUBLIC WORKS	CITY OF BASTROP	DRAWING NO: EC-02
APPROVED		20 02
MAY 24, 2011 DATE	SILT FENCE DETAIL	
E ARCHITECT/ENGINEER ASSUMES PONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	SIET TENOE BETAIL	#ISTROP

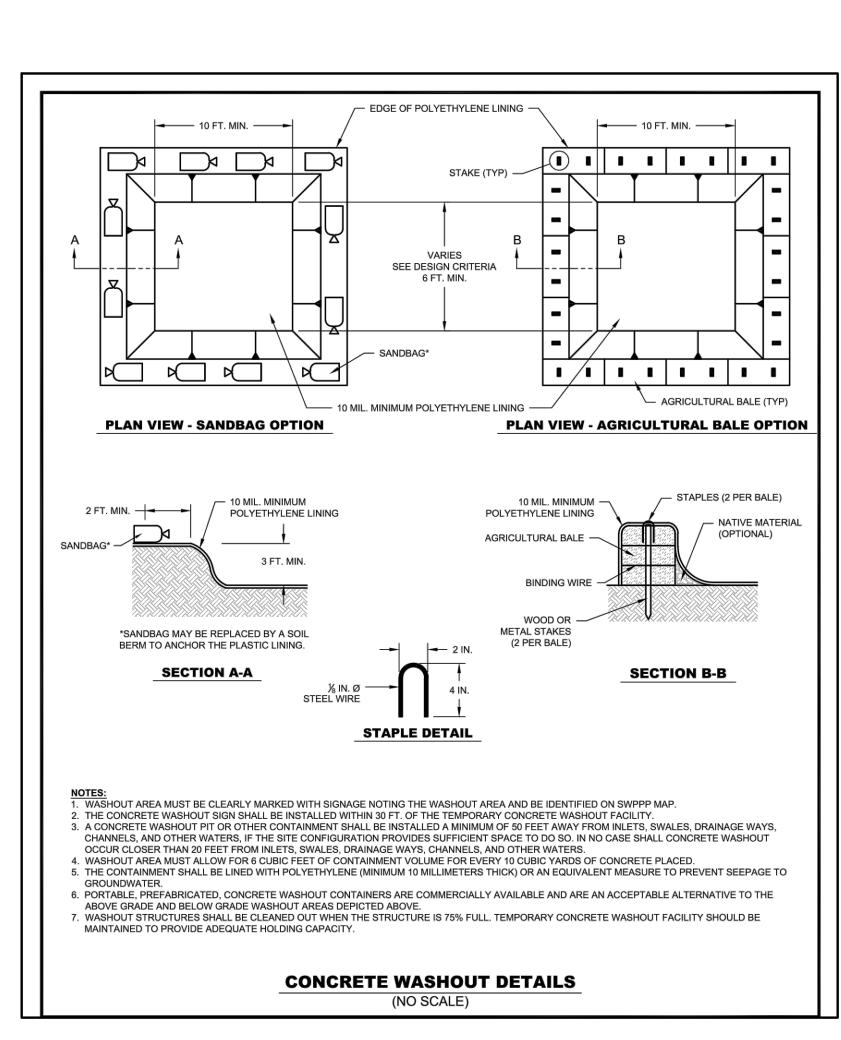


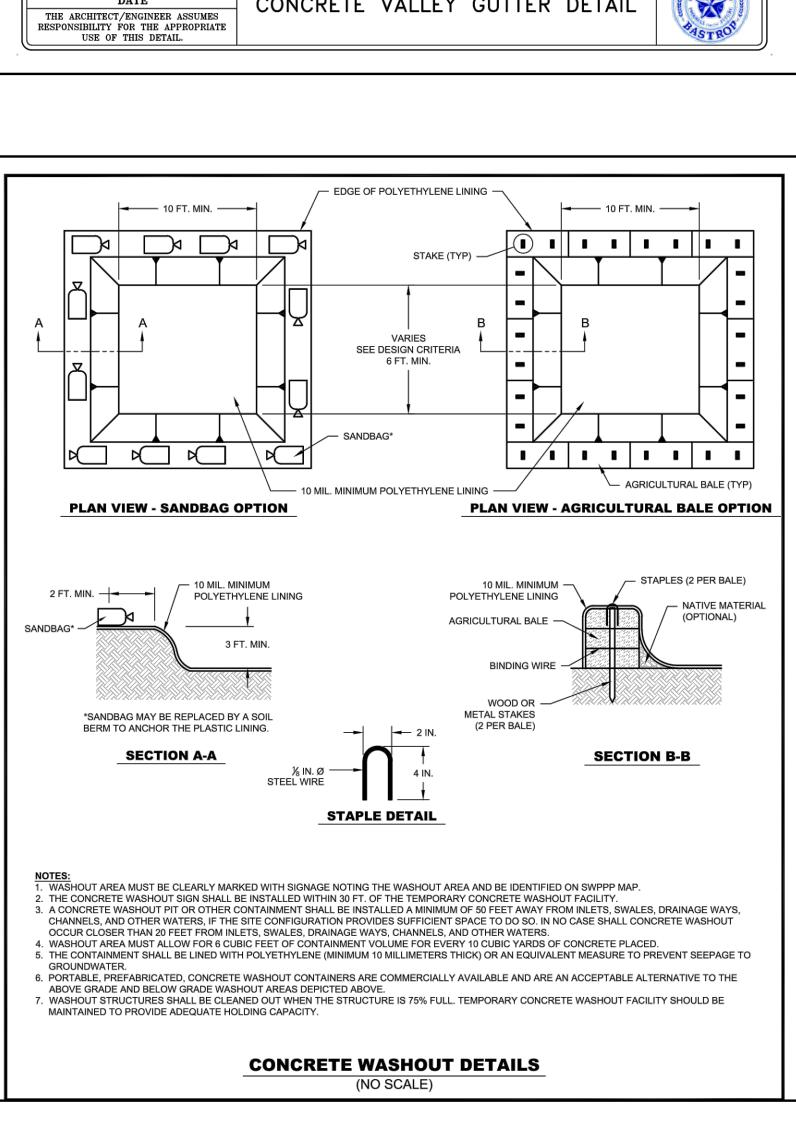


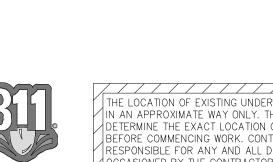


USE OF THIS DETAIL.

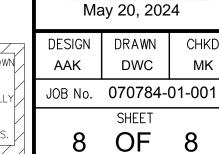








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MARISA KEISER

141397

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Call before you dig.

PRELIMINARY NOT FOR CONSTRUCTION